
99 Christie Lake Road, Perth, ON K7H 3C6

Eric Bays
Senior Urban Planner, Stantec
300- 1331 Clyde Avenue
Ottawa ON K2C 3G4

May 12, 2025
Via email - eric.bays@stantec.com

Status Letter 3 for a Draft Plan of Subdivision and Common Elements Condominium
254 Lake Avenue West - Escape Homes
Part of Lots 12 and 13, Concession 11, formerly Township of Beckwith, now Town of
Carleton Place
County of Lanark File No. 09-T-23008/09-CD-23002

A draft plan of subdivision and a Common Elements Condominium application is proposed for 254 Lake Ave West in the Town of Carleton Place and was deemed complete on December 14, 2023. The applicant provided a third updated submission on March 21, 2025 and the status letter reflects all agency and public comments received during the third circulation.

Plan of Subdivision and Condominium Proposal

The proposed Subdivision application seeks to subdivide the parcel into 9 Blocks. There are two (2) blocks for single detached dwellings, one (1) block for semi-detached dwellings, four (4) blocks for Fourplexes, 1 corner sight triangle and one (1) block for Common element Condominium for maintenance and operation services of private sanitary pipes and a pump station. The seven development parcels will be considered Parcels of Tied Land (POTL) to Block 9.

The subject property is designated as Settlement Area in the Sustainable Communities Official Plan of Lanark County, and Residential District in the Town of Carleton Place Official Plan. The subject lands are Residential District in the Town of Carleton Place Development Permit By-law



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A summary of the agency comments is included below, formal agency letters and correspondences between the agency and County are attached and should be reviewed in their entirety.

Agency Name	Date Received	Comments
Lanark County Planning Department	N/A	No further comments
Town of Carleton Place	April 28, 2025	Comments related to timing
Mississippi Valley Conservation Authority	April 8, 2025	Comments related to Stormwater Management and Drainage Plan
Canada Post	N/A	No further comments
Enbridge	March 26, 2025	No further comments other than the previously identified conditions
Hydro One	April 16, 2025	Subject property not identified in a high voltage area
Bell Canada	N/A	No further comments
Public	N/A	No further public comments received

Comments are received as of May 8, 2025 and are attached to this letter for ease of reference. All other agency comments have been previously provided in the last status letter.

If you have any questions, please do not hesitate to contact the undersigned.

Sincerely,



Koren Lam





LANARK COUNTY

lanarkcounty.ca

99 Christie Lake Road, Perth, ON K7H 3C6

Senior Planner
Lanark County

CC: Nathan Adams, Escape Homes Consulting
Niki Dwyer, Town of Carleton Place
Cindy Deachman, Lanark County



Koren Lam

From: Niki Dwyer <ndwyer@carletonplace.ca>
Sent: April 28, 2025 4:02 PM
To: Koren Lam
Cc: Bays, Eric; Jennifer Hughes; Mike Walker; escapehomesconsulting@gmail.com
Subject: Draft 3 Comments - Lake Ave File 09-T-23008
Attachments: Draft 3 Comments - Lake Avenue (Condo) .pdf

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Hello Koren -

Please find attached the Town of Carleton Place's comments on the Draft 3 Submission for the condominium application at 254 Lake Avenue.

The only comments remaining at this time pertain to the civil engineering review. I would highly recommend the applicant perform a detailed resubmission which will allow us to move forward with scheduling a public meeting. The Town recesses for the month of July and as a result we will only have council meetings available on June 10th and 23rd to conduct public meetings before recess. A complete submission addressing the issues identified in the letter attached will be required before May 30th in order to advance to a public meeting before summer recess.

Should you wish to discuss please let me know,

Thank you,

Niki

Niki Dwyer, MCIP RPP MA BES
Director of Development Services

Town of Carleton Place
175 Bridge Street,
Carleton Place, ON K7C 2V8
Tel: 613-257-6202
Fax: 613-257-8170
Website: www.carletonplace.ca



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Corporation of the Town of Carleton Place

175 Bridge Street, Carleton Place, ON K7C 2V8 Phone: (613) 257-6200 Fax: (613) 257-8170



April 28, 2025
(transmitted VIA email)

Koren Lam, County Planner
Lanark of County – Planning Department
99 Christie Lake Road
Perth, ON K7H 3C6
klam@lanarkcounty.ca

Re: Draft 3 Comments – Lake Avenue (File - 09-T-23008)
Proponent – Escape Homes

Ms Lam,

Further to the formal circulation of the Condominium application for the property known as 254 Lake Avenue, the Town has undertaken an initial review of the material provided and would like to request the following further information or modifications prior to the consideration of the technical merits of the development.

SERVICING AND STORMWATER MANAGEMENT REPORT:

The following comments are required to be addressed prior to next submission:

- Alignment of proposed ditch and subdrain does not align with the adjacent ditch and culvert.
- Cross section D-D should clearly show the top of foundation elevation to indicate that the slope down to the center line of the ditch will not exceed 3:1 slope
- Previous comment: Please confirm the purpose of the 5" retaining curb along the western property line. This could be eliminated entirely with minor grading on the adjacent property, pending permission from the respective owner. Response: Noted. The developer is currently in discussion with the neighboring property owner on minor grading into their property. Drawing C101 has been revised to show minor grading into the adjacent property, pending permission from the neighboring property owner. Comment is carried until a letter from the respective property owner is received.
New comment: This comment will be carried until satisfied.
- Consider relocating the 135mm sanitary service for the proposed single detached to the west side of the water service to have the service connect into the sanitary sewer instead of connected at MH3, as this current arrangement could cause blockages as there is only an invert difference of 0.034 from the upstream invert.
- Insulation detail will be required for area of forcemain where cover is less than 1.5m
- Should a backup power supply be required for the private pumping station.
- Previous comments: Further information is required on the proposed pump station components (wet well size, pump size, float locations, etc.). The connection to Lyndhurst will not be done by others and should be completed as part of the development site



Corporation of the Town of Carleton Place

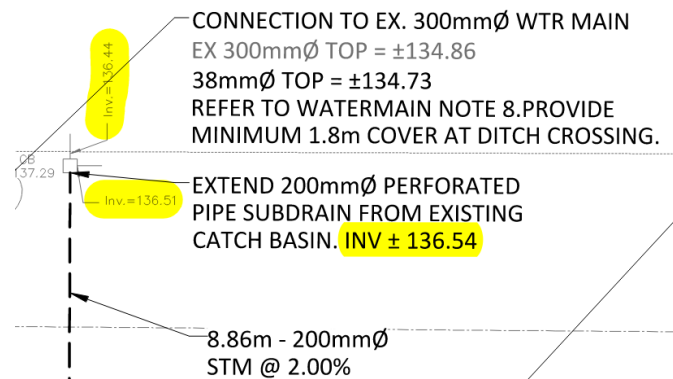
175 Bridge Street, Carleton Place, ON K7C 2V8 Phone: (613) 257-6200 Fax: (613) 257-8170



works. Response: Detailed design drawings for the proposed pump station have been included in Appendix 'D' of the Servicing & Stormwater Management Report. The proposed E- One W-Series Quad pump station will have a structure diameter of 1800mm and be equipped with 1hp pumps. The working volume between the on and off levels will be 267 Litres, with a total volume of 1668 Litres provided up to the alarm level. The total height of the structure will be 5791m. 200mm PVC DR-35 is proposed for the gravity inlet pipe, while 32mm PVC Schedule-40 is proposed for the forcemain outlet pipe.

New Comment: The pump station design will need to satisfy the building department and meeting O.B.C. requirements and may be subject to 3rd party review.

- Concerns regarding the drainage to the roadside ditch along Lake Ave downstream from the development, as water in this ditch occasionally flows onto the roadway.
- The plans do not clearly illustrate where the proposed ditch will connect complete with reinstatement. This will need to be shown to indicate which driveways are being affected and the extent of grading required.
- Verify existing catch basin outlets/inlets. The pipes in the existing catchbasin across Lake Ave were both submerged when field verified. With the existing invert of the pipe leading to the park being 136.44 and the pipe coming from the proposed development being 136.54, indicates that the water is drained towards the park.

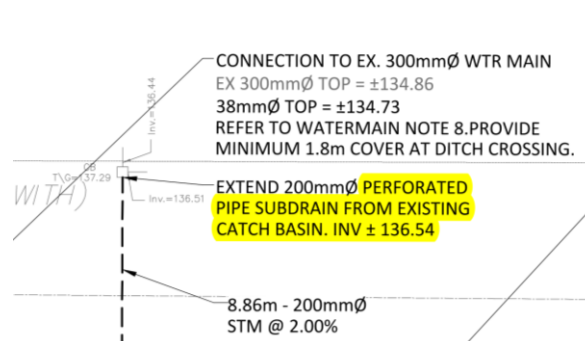


- Culverts from the stormwater retention areas to the rear swale are still noted as being CSP, consider changing to dual-wall HDPE.
- The pipe shown below shall be PVC pipe and not perforated.

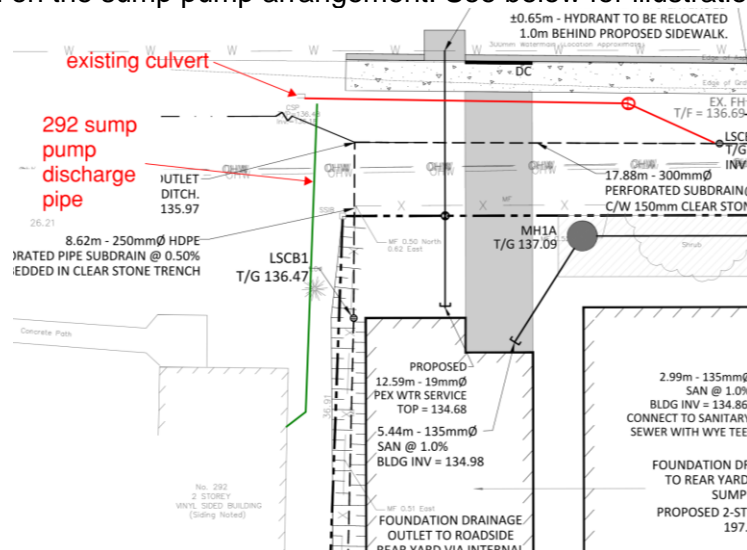


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- The proposed alignment for the storm sewer will not properly connect into the existing culvert. The adjacent property has a sump pump pipe that discharges into the ditch. This will need to be accommodated to ensure there is no negative impact to the property at 292 Lake Ave and adequate protection from their basement from flooding. The property owner is also adamant that there is not a ditch across the frontage of his property. Further coordination will be required and a sign off from the respective property owner will be required on the sump pump arrangement. See below for illustration.



- There is minimal cover on the proposed storm sewer within the Town's right-of-way insulation shall be shown along with the appropriate detail. The proponent will need to submit profile drawings for the storm sewer to be in compliance with the Town's CLI ECA.



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- Confirm that the mini pond areas are not intended for detention as the invert of the 100mm culvert is installed at a lower elevation than the bottom of the pond.
- Revise the plans to utilize a 45-degree bend and thrust block on the existing hydrant lead between the single and semi-detached driveways. The isolation valve should be able to be closed and then the hydrant can be relocated in the proposed location by using bends, this will eliminate the requirement of a new connection on the municipal main. This work must be overseen by a licensed municipal water operator.
- With the water service material being specified as PEX, the contractor shall ensure that tracer wire is spliced to the main and taped to the top of each service line, brought to the cap of the standpost as well as continued into the proposed buildings.
- A landscape plan shall be submitted along with utility plans showing how the units will be service and the proposed separation from utilities and services to tree locations. Note the Town requires minimum 1.5m separation from trees to sewer and water servicing.

The following reports and studies have been reviewed and no comments or requests for clarification are required:

- Tree Preservation Plan

Following the provision of amended studies, reports and plans reflective of the comments noted above, staff will proceed to schedule the locally conducted public meeting in accordance with the provisions of Section 6.5.1 of the Town's Official Plan.

Our review team would also be amenable to meeting to discuss the requested revisions at the proponent's convenience.

Should you have any questions, please do not hesitate to contact my office.

Kindest Regards,

Niki Dwyer, MCIP RPP
Director of Development Services
ndwyer@carletonplace.ca

cc: Jen Hughes, Planning Administrative Clerk (jhughes@carletonplace.ca)
Eric Bays, agent, Stantec (eric.bays@stantec.com)
Nathan Adams, owner (escapehomesconsulting@gmail.com)
Mike Walker, Development Review Officer (mwalker@carletonplace.ca)



Koren Lam

From: Diane Reid <dreid@mvc.on.ca>
Sent: April 9, 2025 3:58 PM
To: Koren Lam
Cc: escapehomesconsulting@gmail.com; Niki Dwyer; Mike Dwyer; Cindy Deachman; Jacob Perkins; Bays, Eric
Subject: RE: 09-T-23008/09-CD-23002 -CP- 254 Lake Ave W: Response to Circulation Comments
Attachments: MVCA Technical Review Memo_Escape Homes_SWMP3_Apr 2025.pdf

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Hi Koren,

Attached is MVCA's review of the SWMP.

Regards,
Diane Reid

From: Koren Lam <klam@lanarkcounty.ca>
Sent: March 21, 2025 1:51 PM
To: Bays, Eric <Eric.Bays@stantec.com>
Cc: escapehomesconsulting@gmail.com; Niki Dwyer <ndwyer@carletonplace.ca>; Diane Reid <dreid@mvc.on.ca>; Mike Dwyer <mdwyer@lanarkcounty.ca>; Cindy Deachman <cdeachman@lanarkcounty.ca>
Subject: RE: 09-T-23008/09-CD-23002 -CP- 254 Lake Ave W: Response to Circulation Comments

Hi Eric,

Thank you for providing an updated submission for 254 Lake Ave W.
I can confirm I have downloaded all files and have verified that all items in the transmittal are in the shared file folder.
This afternoon I will circulate to agencies and post the files on our website. The comment deadline is Monday April 21.

Thanks,

Koren

From: Bays, Eric <Eric.Bays@stantec.com>
Sent: March 19, 2025 4:24 PM
To: Koren Lam <klam@lanarkcounty.ca>
Cc: escapehomesconsulting@gmail.com; Niki Dwyer <ndwyer@carletonplace.ca>; Diane Reid <dreid@mvc.on.ca>; Mike Dwyer <mdwyer@lanarkcounty.ca>; Cindy Deachman <cdeachman@lanarkcounty.ca>
Subject: RE: 09-T-23008/09-CD-23002 -CP- 254 Lake Ave W: Response to Circulation Comments

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To:	Diane Reid, Environmental Planner
From:	Shabab Islam, Water Resources Engineer Assistant
RE:	SWM Engineering Review of the Draft Plan of Subdivision for 254 Lake Avenue West, Carleton Place
MVCA File No.:	PCPSB-24; Escape Homes
Munic. Ref. ID.:	09-T-23008
Date:	April 8, 2025

Mississippi Valley Conservation Authority (MVCA) has been circulated the following reports in support of a subdivision application for 254 Lake Avenue West in the Town of Carleton Place:

- Servicing & Stormwater Management Report, prepared by McIntosh Perry Consulting Engineers Ltd., dated February 20, 2025;
- Civil Drawings, prepared by McIntosh Perry, dated February 20, 2025:
 - C101 – Grading and Drainage Plan;
 - C102 – Site Servicing Plan; and
 - C103 – Erosion and Sediment Control Plan.
- Response to Circulation Comments, prepared by Stantec Consulting Ltd., dated March 19, 2025.

MVCA offers the following comments for your consideration:

1. Please provide overland flow route for drainage area X1 in the post-development drainage plan.

MVCA's previous comments regarding natural hazards have been addressed by the above documents.

Should any questions arise, please contact the undersigned.

Shabab Islam
Water Resources Engineer Assistant

Koren Lam

From: LANDUSEPLANNING <LandUsePlanning@HydroOne.com>
Sent: April 16, 2025 2:36 PM
To: Koren Lam
Subject: Lanark - 254 Lake Avenue West - 09-T-23008

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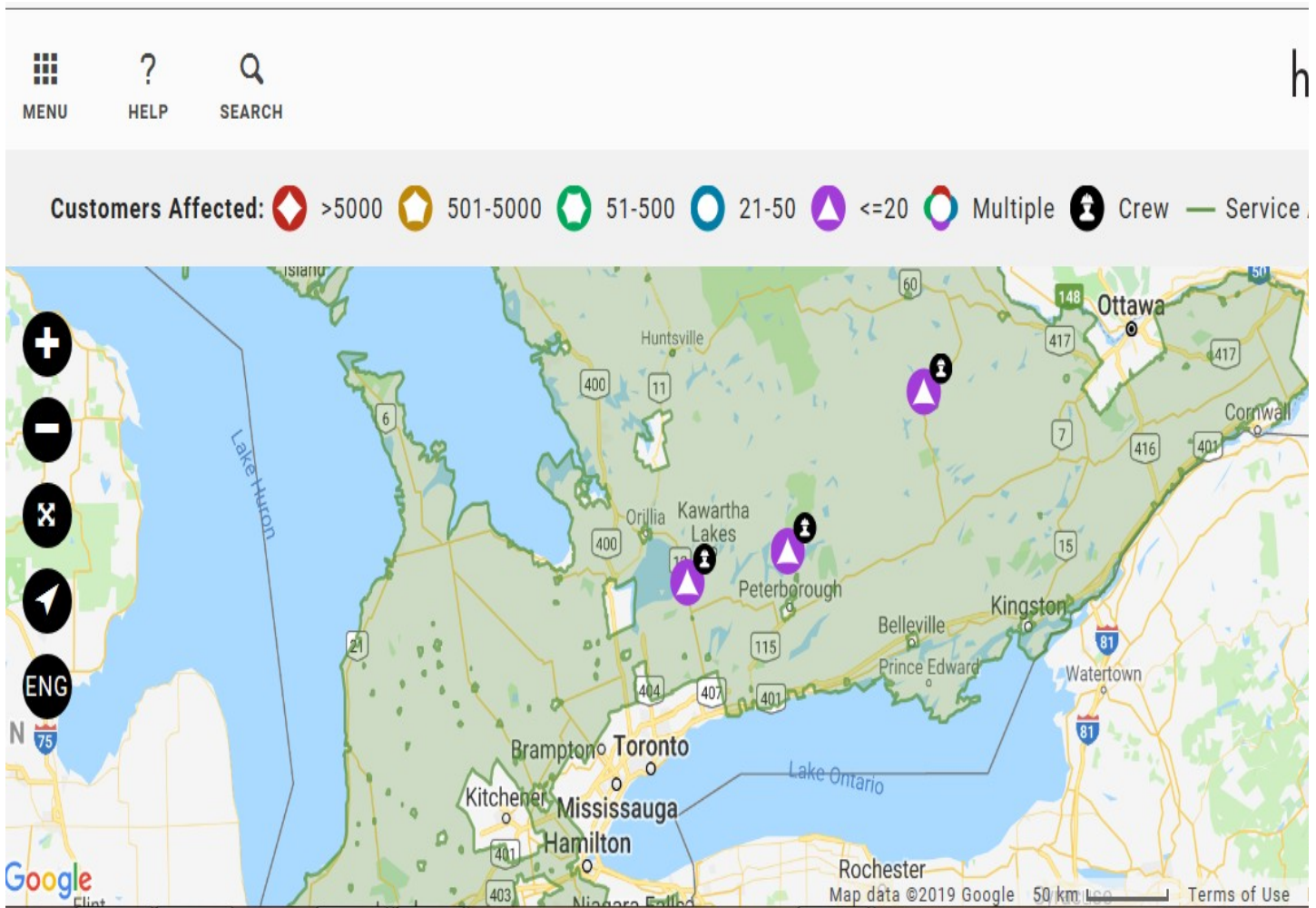
Hello,

We are in receipt of your Application for Subdivision, 09-T-23008 dated 2025-03-21. We have reviewed the documents concerning the noted Plan and have no comments or concerns at this time. Our preliminary review considers issues affecting Hydro One's 'High Voltage Facilities and Corridor Lands' only.

For proposals affecting 'Low Voltage Distribution Facilities' the Owner/Applicant should consult their local area Distribution Supplier. Where Hydro One is the local supplier the Owner/Applicant must contact the Hydro subdivision group at subdivision@Hydroone.com or 1-866-272-3330.

To confirm if Hydro One is your local distributor please follow the following link: [Stormcentre \(hydroone.com\)](https://stormcentre.hydroone.com)

Please select "Search" and locate the address in question by entering the address or by zooming in and out of the map.



If you have any further questions or inquiries, please contact Customer Service at 1-888-664-9376 or e-mail CustomerCommunications@HydroOne.com to be connected to your Local Operations Centre

If you have any questions please feel free to contact myself.

Thank you,

Land Use Planning Department
Hydro One Networks Inc.
Email: LandUsePlanning@HydroOne.com

March 26, 2025

Koren Lam, MSc.
Senior Planner
County of Lanark
99 Christie Lake Road
Perth, ON K7H 3C2

Dear Koren,

Re: Draft Plan of Subdivision, Draft Plan of Condominium – 3rd Submission
Escape Homes
254 Lake Ave W
County of Lanark
File No.: 09-T-23008

Enbridge Gas does not object to the proposed application(s) however, we reserve the right to amend or remove development conditions. This response does not signify an approval for the site/development.

Please always call before you dig, see web link for additional details:

<https://www.enbridgegas.com/-/media/Extranet-Pages/Safety/Dig-safety-for-contractors/faqs.pdf?rev=3d3a2ccd7027463c89a953133aadc4e4>

This response does not constitute a pipe locate, clearance for construction or availability of gas.

The applicant shall use the [Enbridge Gas Get Connected tool](#) to determine gas availability, service and meter installation details and to ensure all gas piping is installed prior to the commencement of site landscaping and/or asphalt paving.

https://enbridge.outsystemsenterprise.com/GetConnected_Th/Login2?OriginalURL=https%3A%2F%2Fenbridge.outsystemsenterprise.com%2FGetConnectedApp_UI%2F

If the gas main(s) needs to be relocated as a result of changes in the alignment or grade of the future road allowances or for temporary gas pipe installations pertaining to phased construction, all costs are the responsibility of the applicant.

In the event that easement(s) are required to service this development, and any future adjacent developments, the applicant will provide the easement(s) to Enbridge Gas at no cost. The inhibiting order will not be lifted until the application has met all of the Enbridge Gas requirements.

Blasting and pile driving activities in the vicinity of Enbridge Gas Distribution and Storage (GDS) facilities require prior approval by GDS. The [Blasting and Pile Driving Form](#), referenced in Enbridge's [Third Party Requirements in the Vicinity of Natural Gas Facilities Standard](#), must be provided to mark-ups@enbridge.com by the Owner of the proposed work for all blasting and pile driving operations. In addition, a licensed blasting consultant's stamped validation report must be submitted to GDS for review if blasting is to occur within thirty (30) metres of GDS facilities. The request must be submitted a minimum of four (4) weeks prior to the beginning of work to allow sufficient time for review.

Sincerely,



Willie Cornelio CET
Sr Analyst Municipal Planning
Engineering

ENBRIDGE
TEL: 416-495-6411
500 Consumers Rd, North York, ON M2J1P8
enbridge.com
Safety. Integrity. Respect. Inclusion.